

Schedule 'A' - Bylaw No. 580.127

Section 6.4.30.14	(580.127)
Comprehensive Development Zone 18	CD18
Permitted Uses and Minimum Site Area	
Permitted Use	Required Site Area
a) Home Occupation Use	n/a
b) Bed and Breakfast	n/a
b) Residential Use - single family dwelling unit	n/a
Maximum Number and Size of Buildings and Structures	
Accessory buildings	- n/a
Dwelling Units	Dwelling units shall be in accordance with the site plan attached as Schedule 'Site Plan'
Height	
- Principal building	
- Interior heated space	7.3 m
- Ridge of gable, hip or gambrel sloped roof	9.0 m
- Mansard roof	
- Deck line	8.0 m
- Top of roof	9.0 m
- Flat roof	8.0 m
Floor Area Ratio	.85
Parcel coverage	55 %
Minimum Setback Requirements	
	As show in the site plan attached as Schedule 'Site Plan'
Except:	
a. where any part of a parcel is adjacent to or contains a watercourse then the regulations in Section 3 of this Part shall apply.	
b. That any roof overhang, eave, cornice or gutter may project to a maximum of 0.6 m into any required set-back area.	
Parking	
Notwithstanding the parking requirements specified in Schedule '6B' Required Number of Off Street Parking Spaces, parking be in accordance with the site plan attached as Schedule 'Site Plan'	



BERWICK ROAD

SUNNINGDALE ROAD EAST

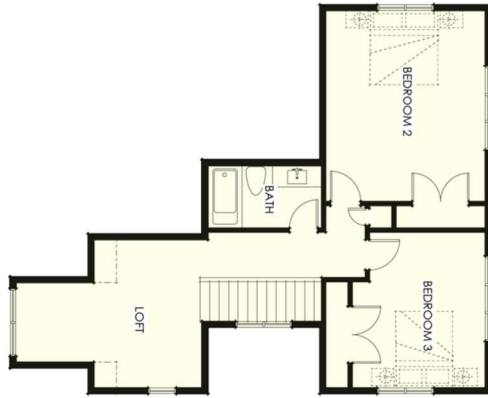


Proposed Land Use

DEVELOPMENT PROPOSED:	UNITS RESIDENTIAL - DEVELOPMENT ZONE
LOT SIZE:	LOT A = 307.8 sq. m. LOT B = 307.1 sq. m. LOT C = 303.3 sq. m.
SITE COVERAGE:	50%
FLOOR AREA RATIO:	0.5
MAX BUILDING HEIGHT:	9.0m
BUILDING SET BACKS:	1.5m (North) 1.5m (South) 2.5m (West) 2m (East)
PAVING:	AS PAVED AND DESIGNATED TO BE PAVED KIDNEY CREEK (287) DRAINAGE DISTRICT 1.0m STREET PARKING SPACE PER LOT



○ Main Floor Plan
Floor Area = 1398 sq. ft.
(Not including Garage)



○ Upper Floor Plan
Floor Area = 824 sq. ft.



○ East Elevation (front)
Scale = 3/16" = 1'-0"

Schedule 'B' - Bylaw No. 580.127

